

ajc architects

ajc project no.
1506

issue date
JUNE 22, 2015

TAYLOR CANYON ELEMENTARY SCHOOL PLAYGROUND REPLACEMENT

2130 TAYLOR AVENUE
Ogden, UT 84401

OWNER



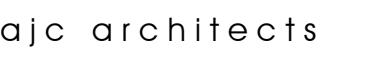
ARCHITECT

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ARCHITECT	1506
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OWNER INFORMATION

OGDEN SCHOOL
DISTRICT

1950 Monroe Blvd.
Ogden, UT 84401

PROJECT DESCRIPTION

TAYLOR CANYON
ELEMENTARY
SCHOOL
PLAYGROUND
2130 TAYLOR AVENUE
OGDEN, UTAH 84401

SHEET NAME:

COVER SHEET

	REVISIONS
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MARK	DATE	DESCRIPTION
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ISSUE DATA

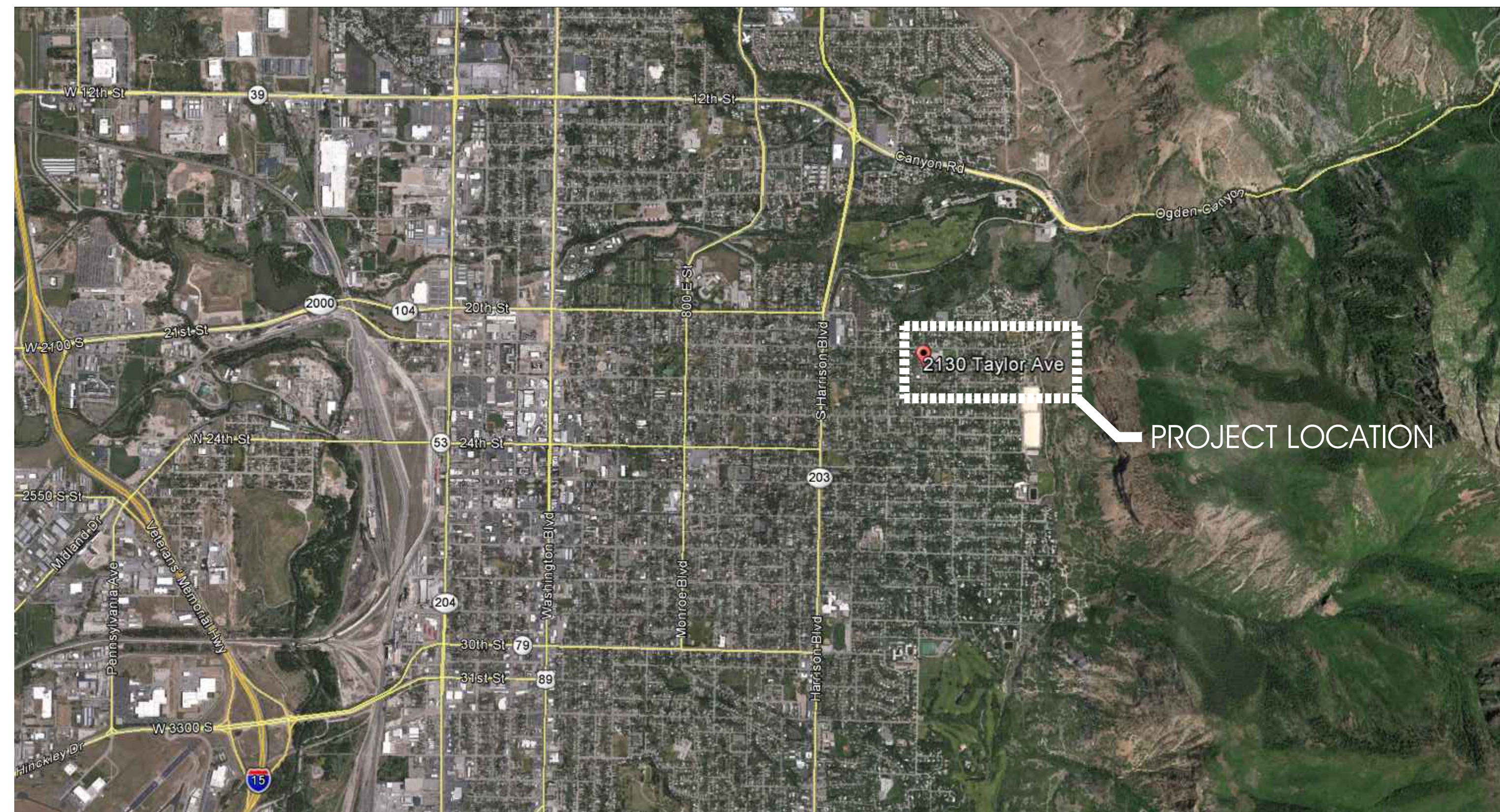
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ISSUE TYPE: CD
DRAWN BY: B.BUDD
CHECKED BY: K.RIGBY
CAD FILE NAME: 1506GI001

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SHEET NUMBER:

GI001

VICINITY MAP



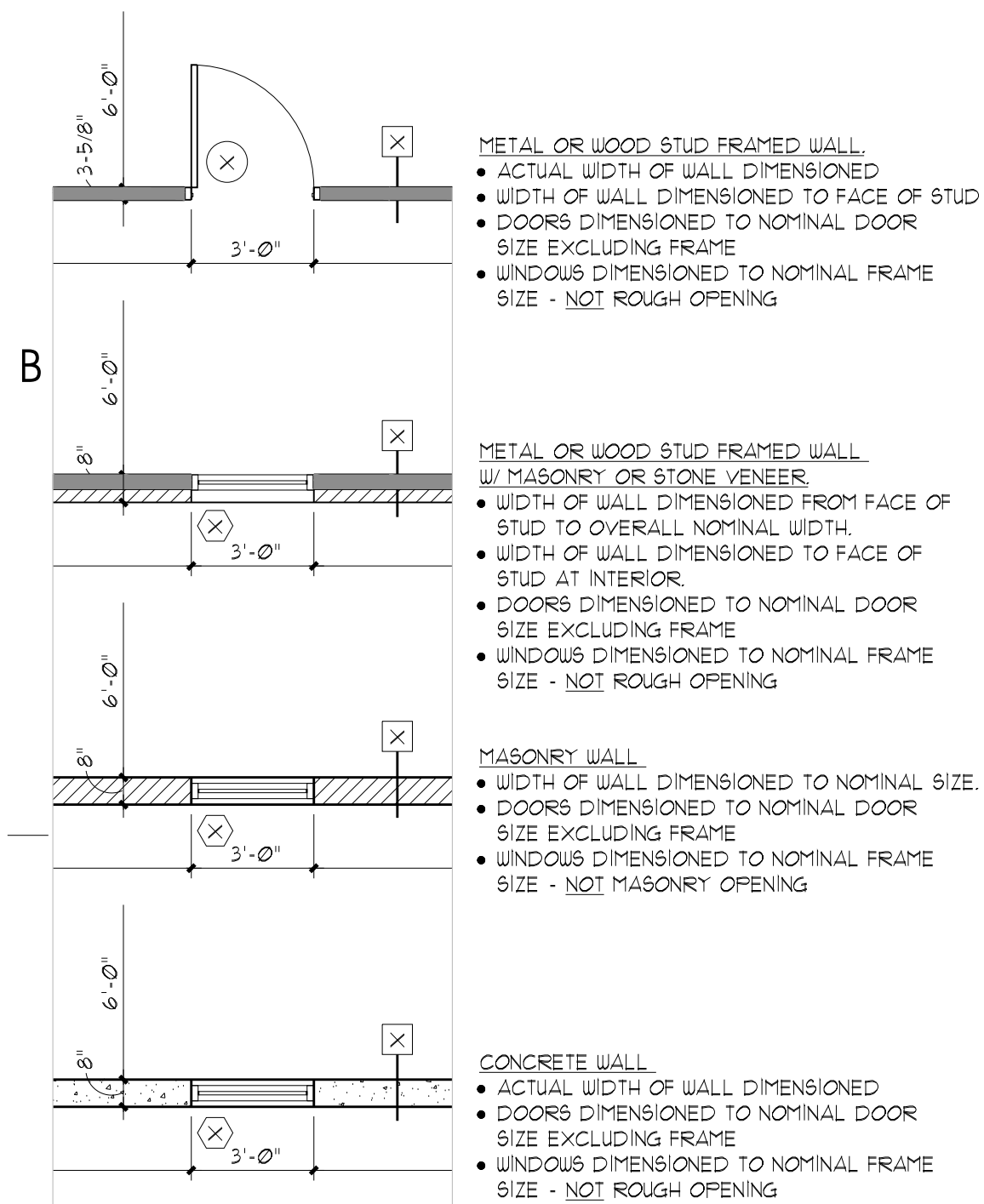
PROJECT LOCATION

ABBREVIATIONS											
D	AB	ANCHOR BOLTS	EA	EACH	MAINT	MAINTENANCE	SECT	SECTION			
	ABBEVY	ABBREVIATION (S)	ELEC	ELECTRICAL	MAT'L	MATERIAL	SHT	SHEET			
	AFBR	APPROVED	ELEV or EL	ELEVATION	MAX	MAXIMUM	SM	SIMILAR			
	ACOUS	ACOUSTICAL	ELEV	ELEVATION	MB	MACHINE BOLT	SMUL	STIMULATED			
	AC	ASPHALT CONCRETE	EQ	EQUAL	MECH	MECHANICAL	SPECs	SPECIFICATIONS			
	A/C	AIR CONDITIONING	EQUIP	EQUIPMENT	MET	METAL	Ss	STAINLESS STEEL			
	AD	ACCESS DOOR	EXIST	EXISTING	MEZZ	MEZZANINE	STA	STATION			
	AF	ABOVE FINISHED FLOOR	EJ	EXPANSION JOINT	MFG	MANUFACTURER					
	ALUM	ALUMINUM	EXT	EXTERIOR	MISC	MISCELLANEOUS					
			EWC	ELEC WATER COOLER	MO	MASONRY OPENING					
C	BD	BOARD	FF	FINISH FLOOR	MULL	MULLION	STD	STANDARD			
	BLDG	BUILDING	FHC	FIRE HOSE CABINET	(N)	NEW	STL	STEEL			
	BLK	BLOCK	FIN	FINISH	NO	NUMBER	SQ	SQUARE			
	BM	BEAM	FLR	FLOOR	N.T.S.	NOT TO SCALE	STRUCT	STRUCTURAL			
	B.O.B.	BOTTOM OF BEAM	FO	FINISHED OPENING	NR	NON-RATED	SUSP	SUSPENDED			
	BOT	BOTTOM	FOC	FACE OF CONCRETE	NOT IN CONTRACT		SYM	SYMMETRICAL			
							T	TREAD			
	C/C	CENTER TO CENTER	FOs	FACE OF STUD	OC	ON CENTER	TBC	TOP BACK OF CURB			
	CER	CERAMIC	FOU	FACE OF WALL	OCC	OPERATOR CONTROL CENTER	TDC	TRAFFIC DECK COVERING			
	CH	CEILING HEIGHT	FDN	FOUNDATION	OD	OUTSIDE DIAMETER	TEMP	TEMPERED			
	CEM	CEMENT	FDR	FIBER REINFORCED PLASTIC	OF	OVERFLOW	TEL	TELEPHONE			
	CLG	CEILING	FD	FLOOR DRAIN	OFF	OFFICE	THK	THICK			
	CLOS	CLOSET	FS	FLOOR SINK	OFI	OWNER FURNISH ITEM	T.O.C.	TOP OF CONCRETE or CURB			
	CLR	CLEAR	FS	FULL SIZE	OFI	OWNER FURNISHED OWNER INSTALLED	T.O.F.	TOP OF FOOTING			
	CMU	CONCRETE MASONRY UNIT	FSD	FULL SIZE DETAIL	OFOI	OWNER FURNISHED OWNER INSTALLED	T.O.P.	TOP OF PARAPET			
	COL	COLUMN	FT	FEET	OH	OPPOSITE HAND	T.O.S.	TOP OF STEEL			
	COMPO	COMPOSITION	FH	FULL HEIGHT	OPNG	OPENING	TYP	TYPICAL			
	CONC	CONCRETE	GA	GAUGE	OPPG	OPPOSITE	T.O.W.	TOP OF WALL			
	CONN	CONNECTION	GC	GENERAL CONTRACTOR	FC	PORTLAND CEMENT	UNO	UNLESS NOTED OTHERWISE			
	CONT	CONTINUOUS	GL	GLASS	PL	PLATE	VER	VERTICAL			
	CORR	CORRIDOR	GALV or Gv	GALVANIZED	PLAS	PLASTER	V.I.F.	VERIFY IN FIELD			
	CSK	COUNTERSINK	GR	GRADE	PLYUD	PLYWOOD					
			GYP BD	GYPSPUM BOARD	FR	FAIR					
	DEL	DELETE	GSD	GRANITE SCHOOL DISTRICT	PREP	PREPARATION	W	WIDE			
	DET	DETAIL			PROJ	PROJECTION	W	WITH			
	DF	DOUGLAS FIR			PT	PRESSURE TREATED	WC	WATER CLOSET			
	DP	DRINKING FOUNTAIN	H	HIGH	FTDF	PRESSURE TREATED DOUGLAS FIR	WD	WOOD			
	DIA	DIAMETER	HDUD	HARDWOOD			WI	WROUGHT IRON			
	DIAG	DIAGONAL	HORIZ	HORIZONTAL	QT	QUARRY TILE	WL	WATER LEVEL			
	DIM	DIMENSION	HP	HIGH POINT	R	RISER	WP	WORKING POINT			
	DIR	DIRECTION			R or RAD	RADIUS	WP	WATERPROOFING			
	DBL	DOUBLE	ID	INSIDE DIAMETER	RO	ROOF DRAIN					
	DN	DOWN	INSUL	INSULATION	REF	REFERENCE					
	DO	DOOR OPENING	INT	INTERIOR	REFL	REFLECTED					
	DR	DOOR			REIN	REINFORCE					
	DS	DOWNSPOUT			REQD	REQUIRED					
	DUG	DRAWING	JAN	JANITOR	RES	RESILIENT					
					Rm	ROOM					
			LAV	LAVATORY	R.O.	ROUGH OPENING					
			LEV	LEVEL	REDWD	REDWOOD					
			LTG	LIGHTING	RTU	ROOF TOP UNIT					
			LWT	LIGHT WEIGHT							

MATERIALS LEGEND (TYPICAL PLAN VIEWS)

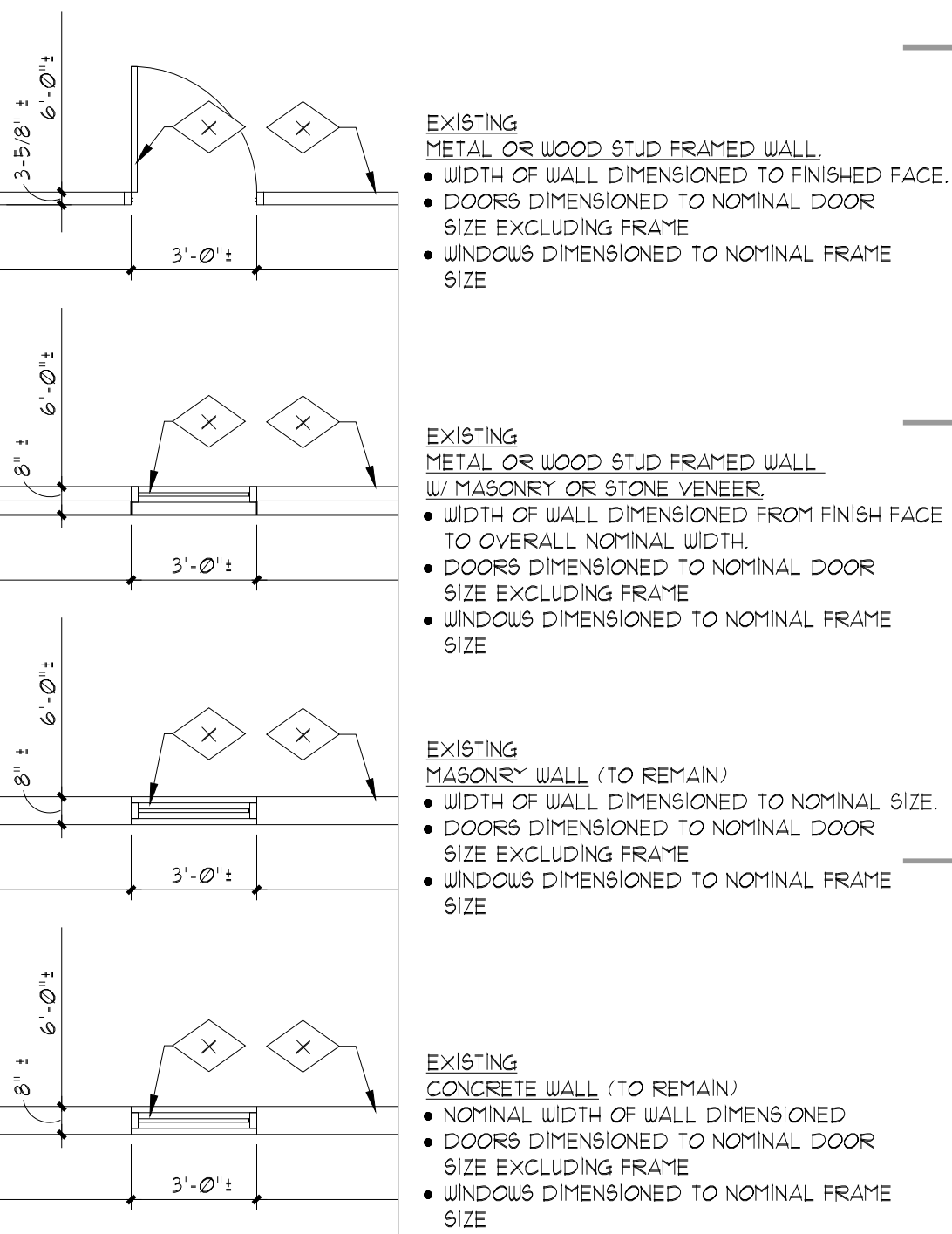
NEW CONSTRUCTION

ALL NEW CONSTRUCTION IS SHOWN HATCHED & SHADED AS ILLUSTRATED BELOW
ALL NEW CONSTRUCTION IS FULLY NOTED AS SHOWN BELOW
ALL WORK IS NEW UNLESS LABELED "EXISTING"



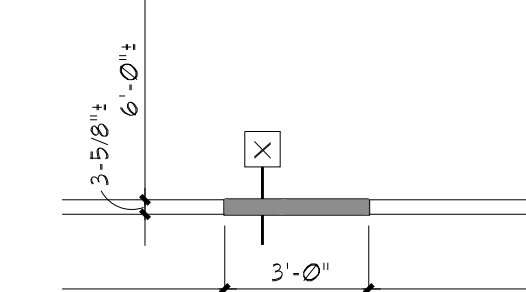
EXISTING CONDITIONS

ALL EXISTING CONSTRUCTION IS SHOWN WITHOUT HATCH AS ILLUSTRATED BELOW
ALL EXISTING CONSTRUCTION IS FULLY NOTED AS SHOWN BELOW
ALL DIMENSIONS TO EXISTING ARE APPROXIMATE ONLY AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR



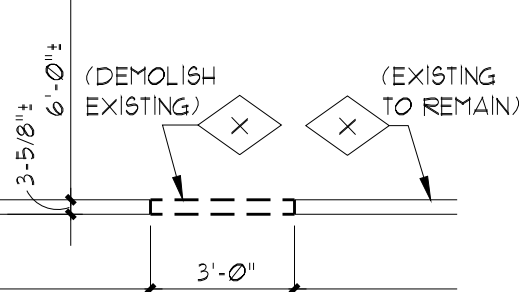
NEW CONSTRUCTION AT EXISTING

NEW CONSTRUCTION SHOWN HATCHED W/ THICKER LINE
ALL EXISTING COMPONENTS SHOWN THIN LINE SOLID, NO HATCH.

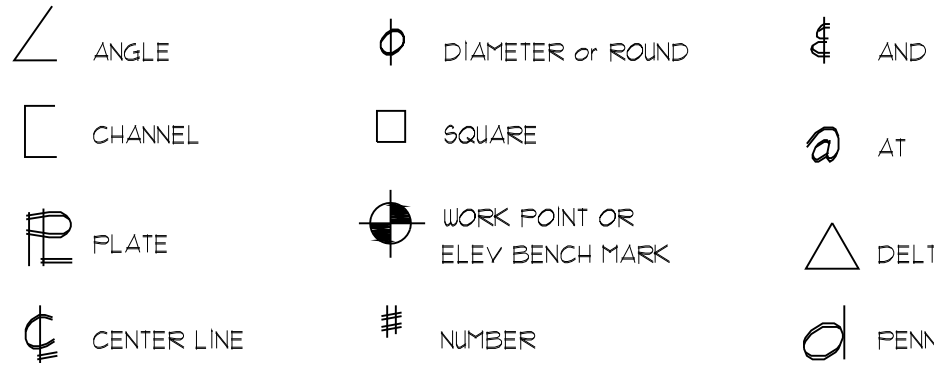


DEMOLITION AT EXISTING CONDITIONS

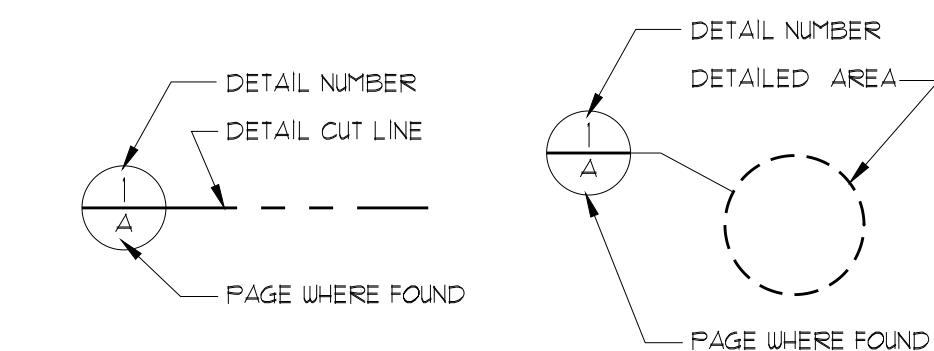
ALL EXISTING COMPONENTS SHOWN THIN LINE SOLID, NO HATCH.
ALL COMPONENTS TO BE DEMOLISHED ARE SHOWN DASHED, THICK LINE



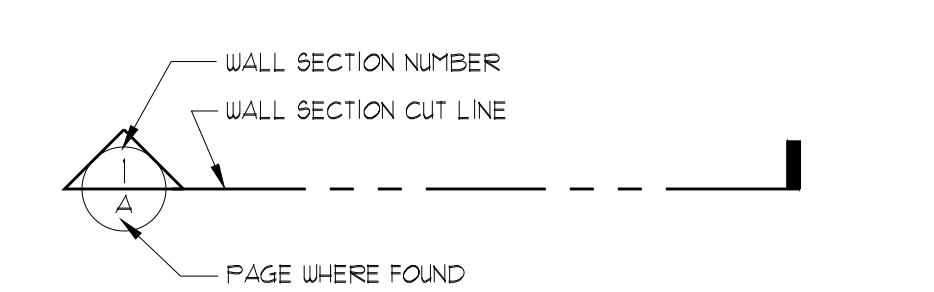
SYMBOLS



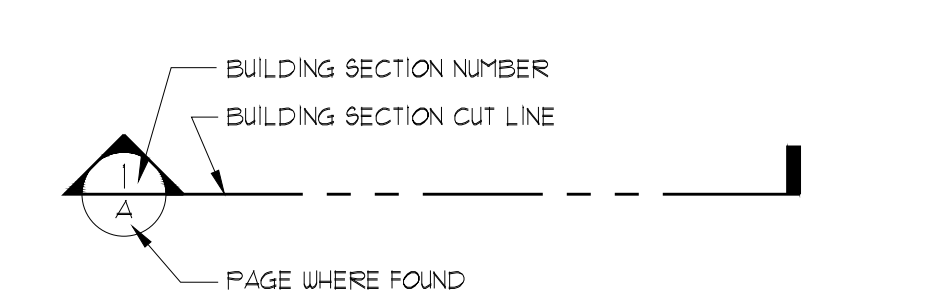
DETAIL TAGS



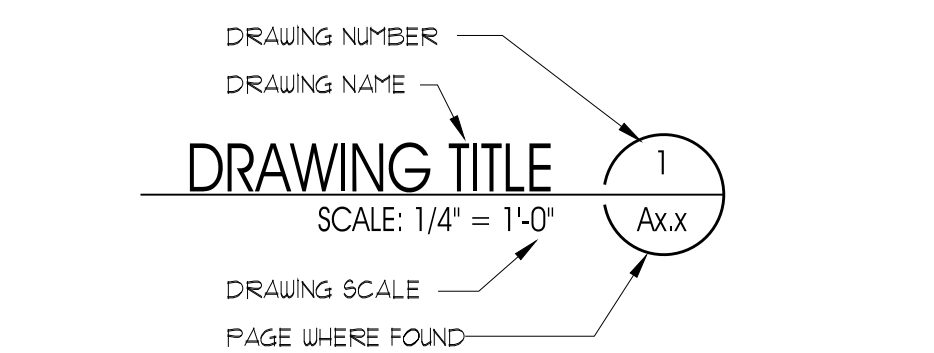
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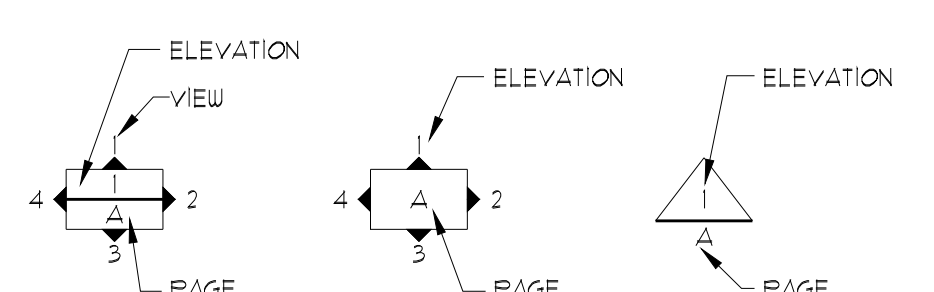
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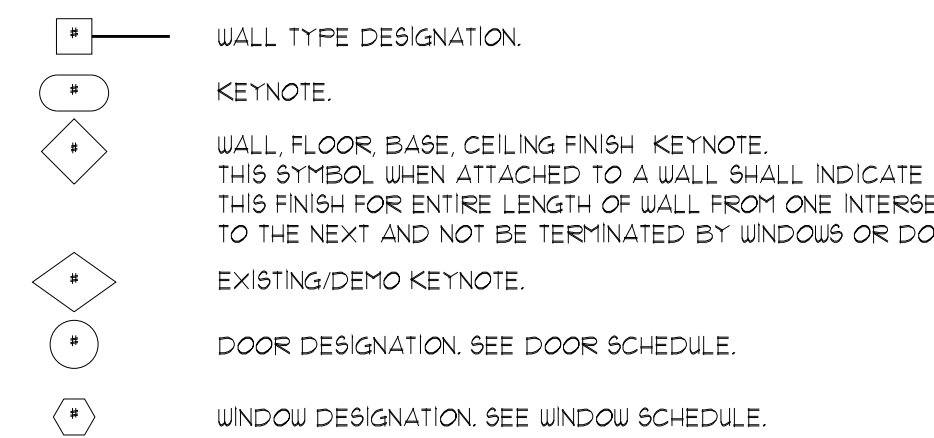
BUILDING SECTION TAG



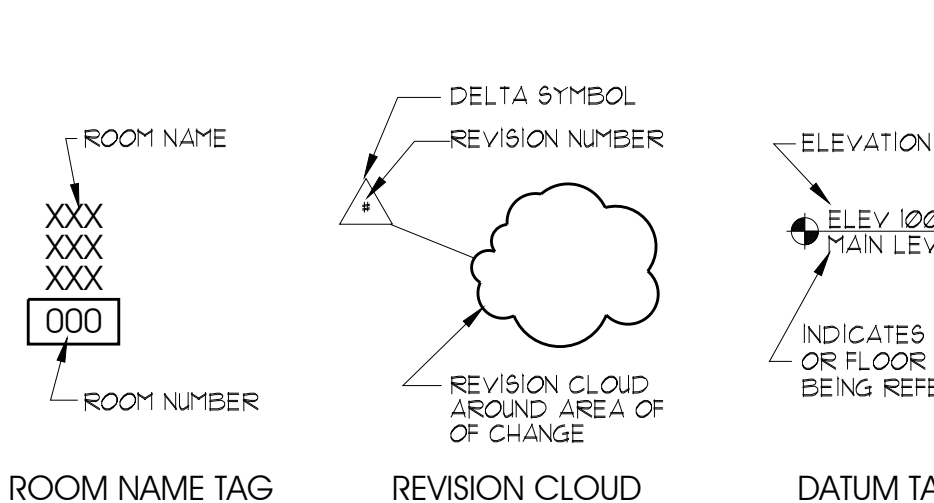
DRAWING TITLE



INTERIOR ELEVATION TAGS



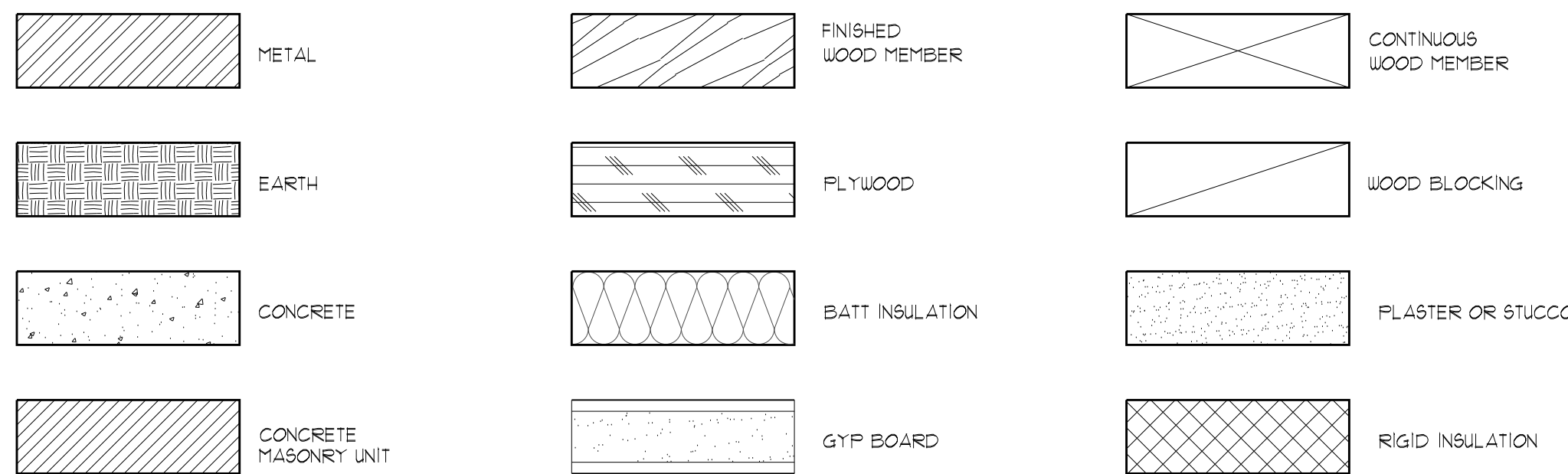
MISCELLANEOUS KEYED NOTE SYMBOLS



GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL HEREFTER BE REFERRED TO AS "GENERAL CONTRACTOR" OR "GC". THE OWNER MAY HEREFTER BE REFERRED TO AS "OWNER"
- PLEASE NOTE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION IN THE DOCUMENTS. THE GENERAL CONTRACTOR SHALL UTILIZE THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS FOR ALL REQUIRED INFORMATION TO PROVIDE COMPLETE CONSTRUCTION OF THIS PROJECT. ITEMS LISTED IN DRAWINGS MAY NOT BE INCLUDED IN SPECIFICATIONS. ITEMS LISTED IN SPECIFICATIONS MAY NOT BE INCLUDED IN DRAWINGS.
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONSTRUCTION DOCUMENTS. THE GC SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. THE GC SHALL ACCEPT PREMISES AS FOUND. OWNER WILL MAINTAIN THE EXISTING CONDITION OF THE SITE AND EXISTING STRUCTURES AT THE TIME OF BIDDING.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE GENERAL CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.
- ALL PLAN DIMENSIONS ARE FROM GRIDLINE OR FACE OF STUD OR FACE OF BLOCK UNLESS OTHERWISE INDICATED. SEE SECTION ON "DIMENSIONING" THIS SHEET.
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ALL CONDITIONS REQUIRING COORDINATION/ CHANGES WITH THE CONTRACT DOCUMENTS. COORDINATION / APPROVAL SHALL TAKE PLACE BEFORE THE WORK BEGINS. ALL CHANGES TO THE CONTRACT COST SHALL BE APPROVED THROUGH A CHANGE ORDER
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS. THE ARCHITECT WILL NOT REVIEW SHOP DRAWINGS UNTIL THE GC HAS REVIEWED AND STAMPED THE SHOP DRAWINGS/SUBMITTAL. THE GC IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS SHOWN ON THE SHOP DRAWINGS. THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS SHALL NOT OVERRIDE THE CONDITIONS DESCRIBED IN THE CONTRACT DOCUMENTS UNLESS SPECIFICALLY NOTED OTHERWISE BY THE ARCHITECT
- FOR CONSTRUCTION DETAILS NOT SHOWN USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION. THE GENERAL CONTRACTOR MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
- ALL PROJECT CONSTRUCTION SHALL CONFORM WITH ANSI A-117.1-1998, AND THE AMERICANS WITH DISABILITIES ACT (ADA).
- THE GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING AUTHORITIES AND UTILITIES PRIOR TO COVERING UP ANY WORK REQUIRING INSPECTION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL REQUIRED EXITS AND FIRE LANES IN WORKING ORDER AND FIRE DEPT. ACCESS REQ'D.
- ALL PERMITS OR CONNECTION FEES SHALL BE SECURED BY THE GENERAL CONTRACTOR AND REIMBURSED THROUGH THE OWNER.

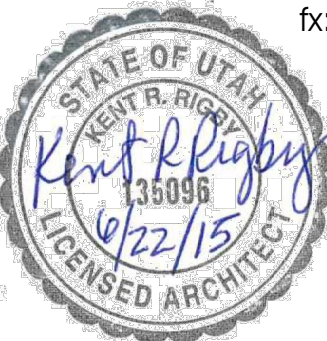
NEW MATERIALS LEGEND (TYPICAL SECTION VIEWS)



ARCHITECT 1506



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OWNER INFORMATION

OGDEN SCHOOL DISTRICT

1950 Monroe Blvd.
Ogden, UT 84401

PROJECT DESCRIPTION

TAYLOR CANYON
ELEMENTARY
SCHOOL
PLAYGROUND
2130 TAYLOR AVENUE
OGDEN, UTAH 84401

SHEET NAME:

GENERAL
NOTES
ABBREVIATIONS
LEGENDS

REVISIONS

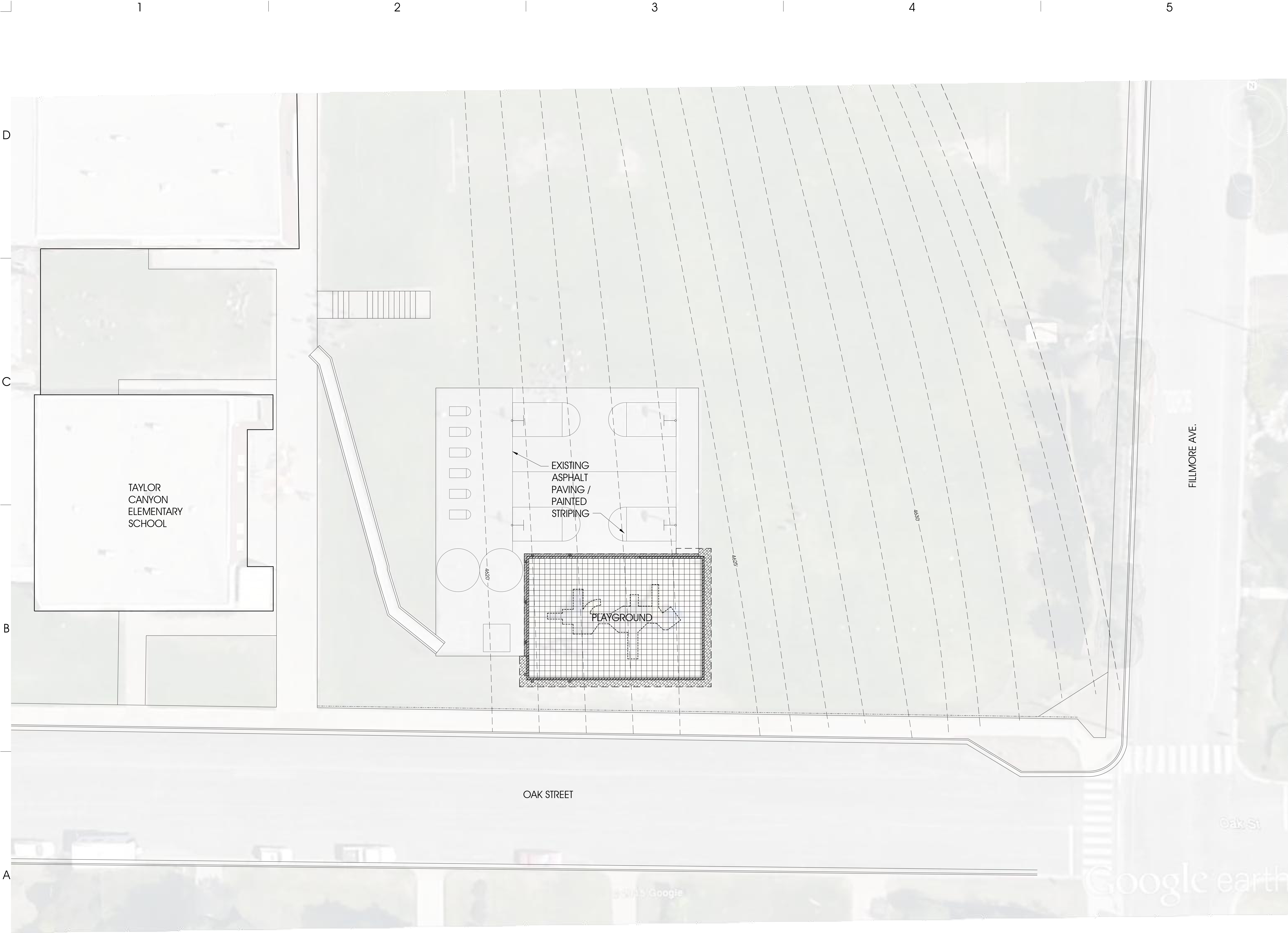
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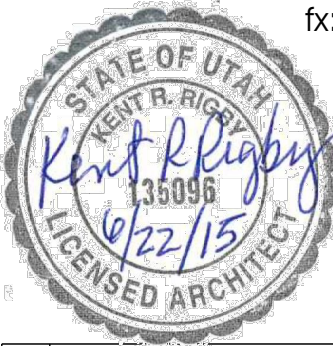
AE001



ARCHITECT 1506



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OWNER INFORMATION

OGDEN SCHOOL DISTRICT

1950 Monroe Blvd.
Ogden, UT 84401

PROJECT DESCRIPTION

TAYLOR CANYON ELEMENTARY SCHOOL
PLAYGROUND
2130 TAYLOR AVENUE
OGDEN, UTAH 84401

SHEET NAME:

OVERALL SITE PLAN

REVISIONS

MARK	DATE	DESCRIPTION
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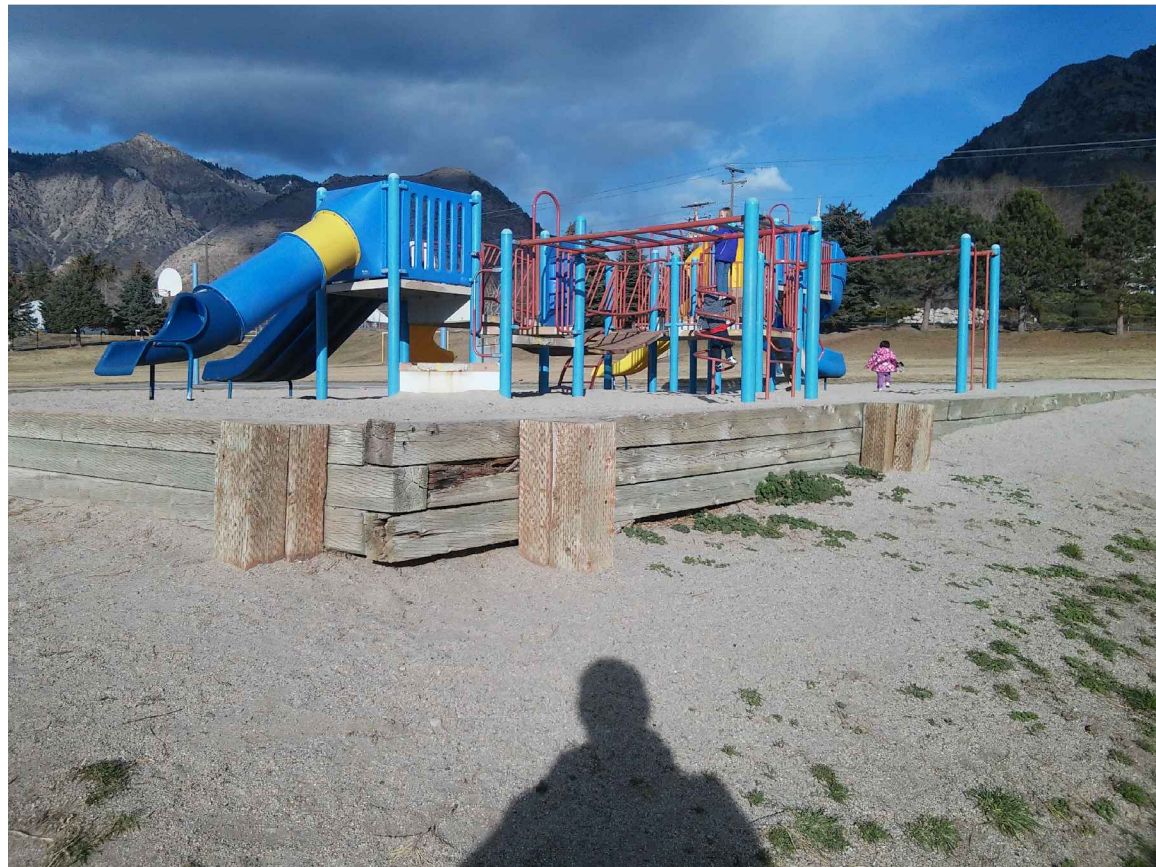
SHEET NUMBER:

AS100

OVERALL SITE PLAN
SCALE: 1/16" = 1'-0"

A4
AS100

EXISTING CONDITION REFERENCE PHOTOS



KEYED NOTE LEGEND:

- 01 SAW CUT AND REMOVE EXISTING WOOD RETAINING WALL, REINFORCING AND SUPPORTS. EXCAVATE AS REQUIRED. RECYCLE.
- 02 SAW CUT AND REMOVE EXISTING ASPHALT PAVING. EXCAVATE AS REQUIRED.
- 03 REMOVE EXISTING PLAYGROUND EQUIPMENT AND ASSOCIATED FOUNDATIONS/FOOTINGS. RECYCLE.
- 04 REMOVE EXISTING CHAIN-LINK FENCE AS NEEDED FOR DEMOLITION/CONSTRUCTION ACCESS. PROTECT DURING DEMOLITION AND CONSTRUCTION. REINSTALL.
- 05 REMOVE EXISTING SAND BED. SALVAGE/STOCKPILE FOR RE-USE. EXCAVATE AREA AS NEEDED.
- 06 REMOVE EXISTING SOD AS NEEDED. DISPOSE. PROTECT IRRIGATION DURING DEMOLITION AND CONSTRUCTION.
- 07 EXISTING CONCRETE CURB AND GUTTER TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 08 EXISTING ASPHALT PAVING/STRIPING TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 09 EXISTING CONCRETE PAVING TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 10 EXISTING LANDSCAPING/SOD TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.

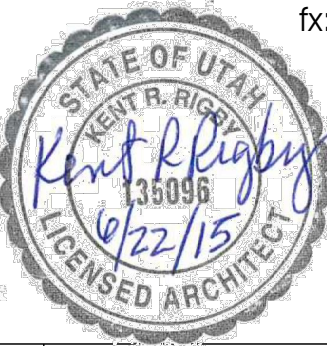
GENERAL NOTES LEGEND:

- SEE SHEET AE001 FOR GENERAL NOTES.
- SEE TITLE SHEET G1001 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

ARCHITECT 1506



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PROJECT DESCRIPTION

TAYLOR CANYON ELEMENTARY SCHOOL
PLAYGROUND
2130 TAYLOR AVENUE
OGDEN, UTAH 84401

SHEET NAME:

DEMOLITION SITE PLAN

REVISIONS

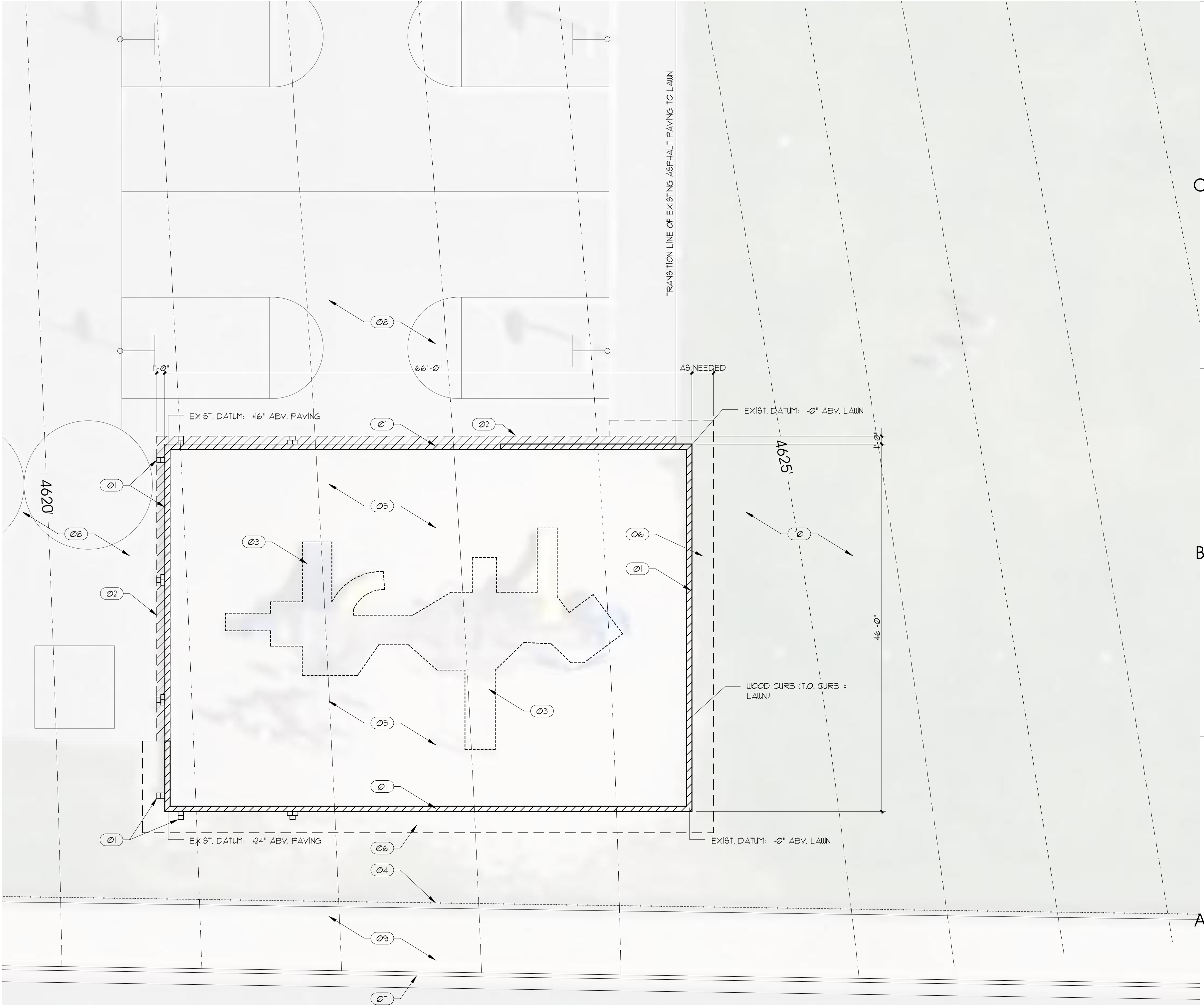
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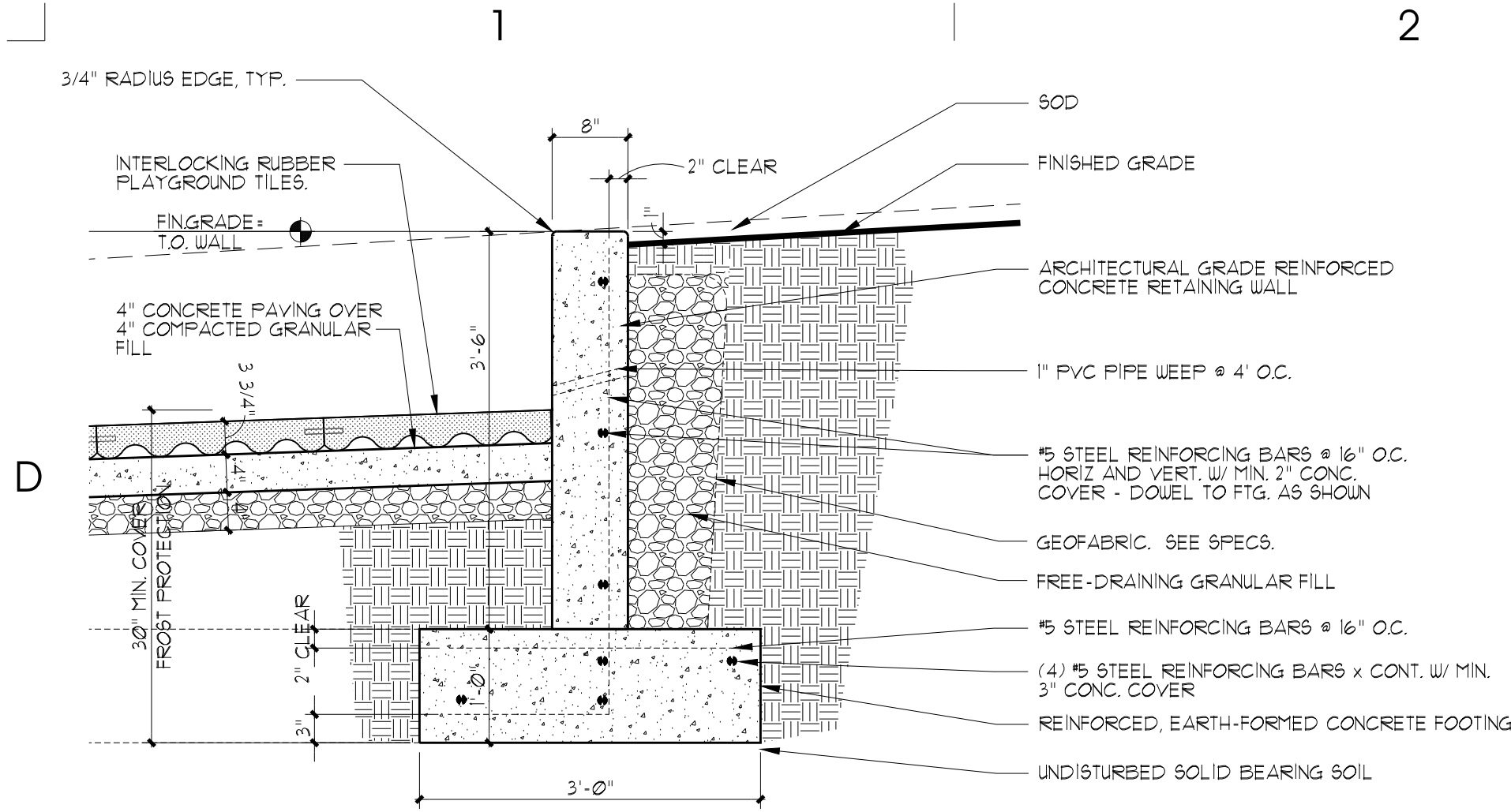
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AS101

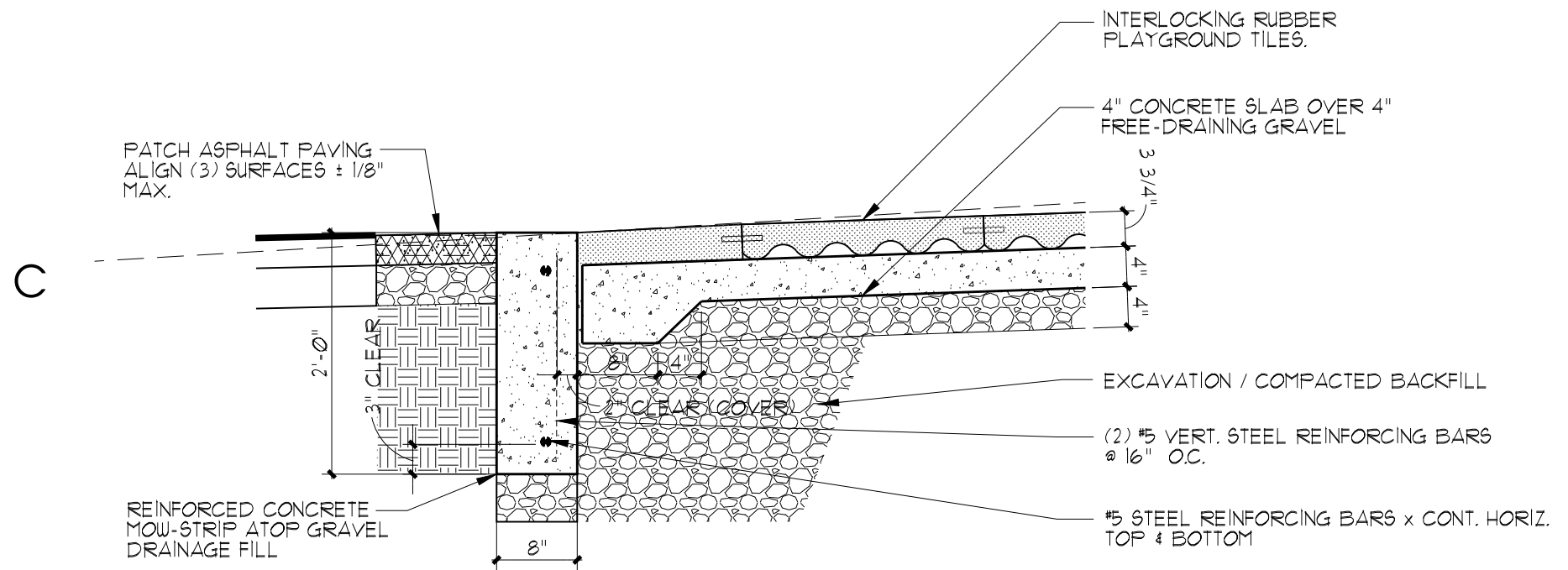


DEMOLITION SITE PLAN
SCALE: 1/8" = 1'-0"

A4
AS101



RETAINING WALL SECTION
SCALE: 3/4" = 1'-0"

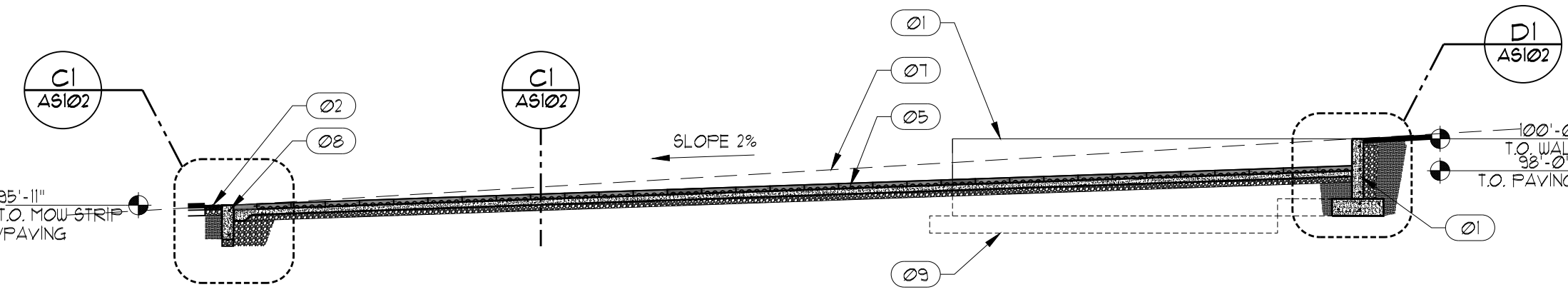


MOW STRIP SECTION
SCALE: 3/4" = 1'-0"

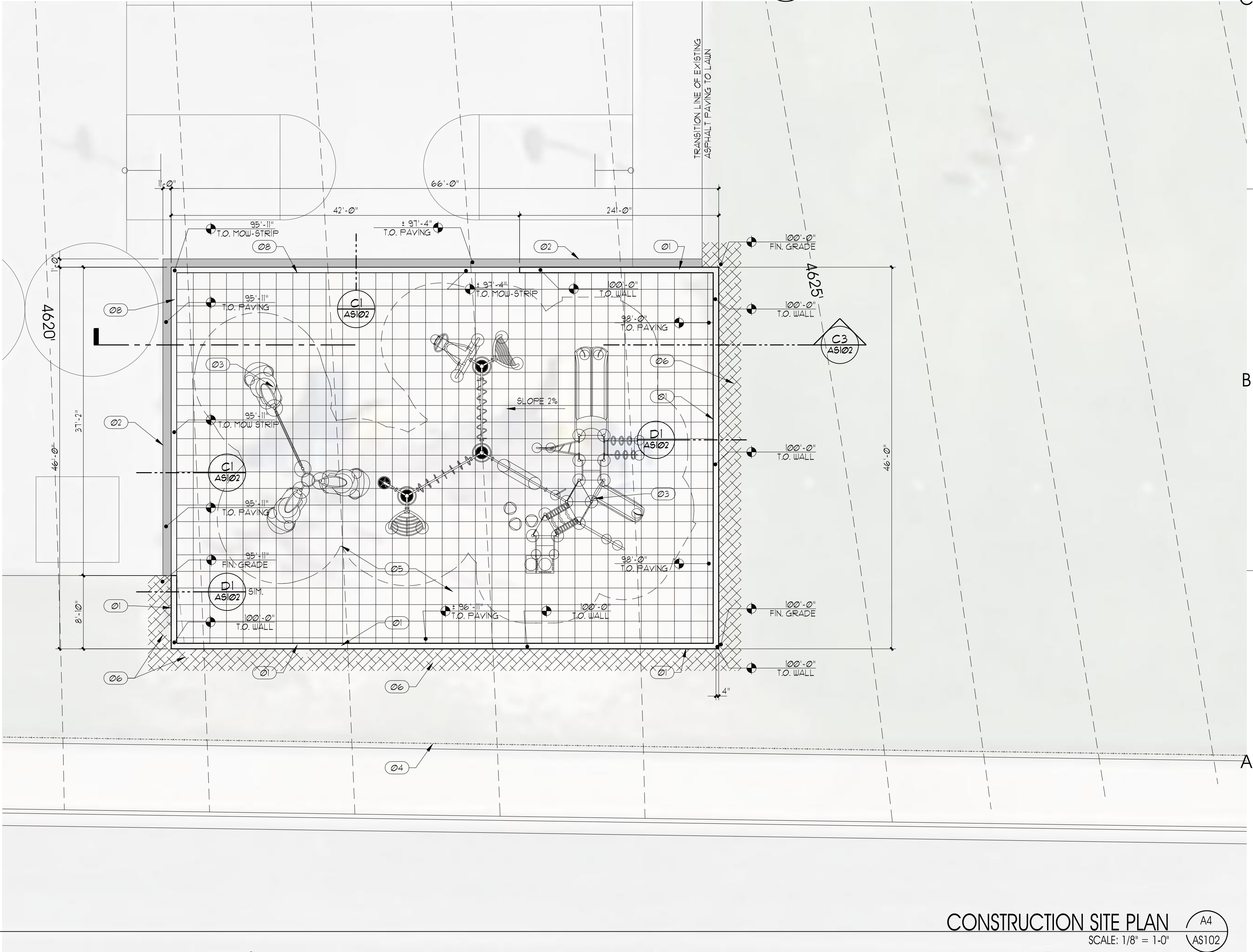
- EQUIPMENT SEQUENCING
- GC TO PROVIDE COMPACTED BASE (IN 6" LIFTS, TAMP)
 - PLAYGROUND FOOTINGS (BY OTHERS) PRIOR TO SLAB POUR AND COMPACTED FILL
 - GC TO PROVIDE COMPACTED BASE (IN 6" LIFTS, TAMP)
 - PLAYGROUND EQUIPMENT INSTALL (BY OTHERS)
- GC TO FOUR CONCRETE PAVING AND INSTALL RUBBER TILES.

- KEYED NOTE LEGEND:
*FOR SHEET AS102
- 01 ARCHITECTURAL GRADE REINFORCED CONCRETE RETAINING WALL.
 - 02 PATCH ASPHALT PAVING.
 - 03 PLAYGROUND EQUIPMENT AND ASSOCIATED FOUNDATIONS/FOOTINGS. SEE PLAYGROUND DRAWINGS UNDER SEPARATE COVER.
 - 04 REINSTALL CHAIN-LINK FENCE TO ORIGINAL CONDITION.
 - 05 INTERLOCKING RUBBER PLAYGROUND TILES OVER 4" CONCRETE SLAB OVER 4" FREE-DRAINING GRAVEL.
 - 06 PATCH-BACK SOD AND IRRIGATION AS NEEDED.
 - 07 APPROXIMATE LINE OF EXISTING GRADE. CONTRACTOR TO FIELD-VERIFY.
 - 08 REINFORCED CONCRETE MOW-STRIP.
 - 09 STEP FOOTING AS NEEDED FOR CONT. 30" FROST PROTECTION FOR FOOTING.

- GENERAL NOTES LEGEND:
*FOR SHEET AS102
- SEE SHEET AE001 FOR GENERAL NOTES.
 - SEE TITLE SHEET G1001 FOR DRAWING INDEX.
 - DO NOT SCALE DRAWINGS.
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- PATCH-BACK SOD AND IRRIGATION AS NEEDED
- PATCH ASPHALT PAVING
- INTERLOCKING RUBBER PLAYGROUND TILES OVER 4" CONCRETE SLAB OVER 4" COMPACTED GRANULAR FILL



CROSS SECTION
SCALE: 1/8" = 1'-0"



CONSTRUCTION SITE PLAN
SCALE: 1/8" = 1'-0"

ARCHITECT 1506

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STATE OF UTAH
Kurt R. Rigby
35095
022/15
LICENSED ARCHITECT

OWNER INFORMATION

OGDEN SCHOOL DISTRICT
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Ogden, UT 84401

PROJECT DESCRIPTION

TAYLOR CANYON ELEMENTARY SCHOOL PLAYGROUND
2130 TAYLOR AVENUE
OGDEN, UTAH 84401

SHEET NAME:

CONSTRUCTION SITE PLAN

REVISIONS		
MARK	DATE	DESCRIPTION

ISSUE DATA

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