



**Taylor Canyon Elementary Building Demolition**

**Ogden School District**

**1950 Monroe Blvd**

**Ogden UT, 84401**

**RFP 23-001**

**Project Date: October 10th- December 2<sup>nd</sup> 2022**

**Bid Due: August 8th, 2022 2:00PM**

**Project:**

**Taylor Canyon Elementary**

**2130 Taylor Avenue**

**Ogden UT, 84401**



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## NOTICE TO BIDDERS

Electronic bids will be received by the Board of Education of the Ogden School District, for the Taylor Canyon Elementary Demolition Project. Bids will be in accordance with these specifications.

A Pre-bid walk through will be held Wednesday July 27<sup>th</sup> at 2130 Taylor Avenue, Ogden Utah at 1:30pm. Attendance at the bid walk is **mandatory** to qualify contractors to bid this project.

The Office of the Director of Support Services will receive electronic bids until the hour of 2:00pm August 8th 2022. **Bids must be submitted on Scquest (UP3)**

<https://solutions.scquest.com/apps/Router/SupplierLogin?CustOrg=StateOfUtah>

A bid bond of the amount of (5%) of the bid, made payable to the Board of Education of the Ogden School District, shall accompany bid. If a certified check is used in lieu of the bid bond, a certificate from an approved surety company guaranteeing execution of 100% Performance Bond and 100% Payment Bond must accompany bid.

The Ogden School District Board of Education reserves the right to accept or reject any or all bids or to waive any informality or technicality in any bid, in the interest of the District.

**If bidders have questions or need to seek clarification during this bidding process, then questions must be received in writing through Scquest (UP3) no later than August 4th at 12:00pm.**

BOARD OF EDUCATION OF THE OGDEN SCHOOL DISTRICT  
KEN CRAWFORD, DIRECTOR OF SUPPORT SERVICES



## BID FORM RFP 23-001

Name of Bidder \_\_\_\_\_ Date \_\_\_\_\_

Address of Bidder \_\_\_\_\_

To the Board of Education of the Ogden City School District

1950 Monroe Blvd Ogden, UT 84401

RFP23-001 Project Dates: October 10<sup>th</sup> - December 2<sup>nd</sup> 2022

The undersigned, in compliance with your invitation for bids for the Taylor Canyon Elementary Demolition Project having examined the drawings, specifications and related documents, and the site of the proposed work and being familiar with all of the conditions surrounding the construction of the proposed project, including the availability of labor, do hereby propose to furnish all labor, materials and supplies as required for the work in accordance with the Contract Documents as specified and within the time set forth and at the price stated below.

I/We acknowledge receipt of the following addenda if applicable

#1 \_\_\_\_\_ Date \_\_\_\_\_

**Base Bid Project:** This base bid shall include all work in the construction documents for RFP 23-001 Taylor Canyon Elementary Demolition Project. I/We agree to perform this work for the sum of:

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

(In case of discrepancy, written amount shall govern)

**Bid Alternate #1:** This alternate bid shall include all work in the Bid Alternate #1 portion in the construction documents for RFP 23-001 Taylor Canyon Elementary Demolition.

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

(In case of discrepancy, written amount shall govern)

**Bid Alternate #2:** This alternate bid shall include all work in the Bid Alternate #2 portion in the construction documents for RFP 23-001 Taylor Canyon Elementary Demolition.

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

(In case of discrepancy, written amount shall govern)



## BID BOND

I/We guarantee to complete the work as defined in the Drawings and specifications.

Enclosed is \_\_\_\_\_ for bid security as required in the sum \$ \_\_\_\_\_

The undersigned Contractors license number for Utah is \_\_\_\_\_ and my bid limit is \$ \_\_\_\_\_

Upon receipt of Notice of Acceptance of this bid, the undersigned agrees to execute the Contract and within five (5) days deliver Owners Protective Bonds in the prescribed form in the amount of 100% of the General Construction Contract Price for faithful performance of the contract. The Certified Check, Cashier's Check or Bid Bond attached, in the amount not less than five percent (5%) of the Body shall become the property of the Board of Education of the Ogden City School District in the event that the Contract is not negotiated and/or the Owner's Protective Bonds delivered within the time set forth, as liquidated damages for the delay and additional expense caused thereby.

Respectfully Submitted,

**Name of Bidder** \_\_\_\_\_

**Authorized Signature** \_\_\_\_\_

**Phone Number** \_\_\_\_\_

**Email Address** \_\_\_\_\_



## PROJECT INFORMATION/ SPECIFICATIONS

### RFP-23-001

**Project Location:**

Taylor Canyon Elementary School

2130 Taylor Avenue

Ogden, Utah

**Specifications:** Furnish all labor, materials, and equipment needed to complete the work specified.

**Project: Taylor Canyon Building Demolition**

- Complete building demolition and removal of all debris including footings and foundation, concrete and asphalt identified in this document.
- Backfill with structural fill to match existing grade. Crushed concrete may not be used as backfill material.
- Cap all utilities inside the property line. Ogden City Water requires the domestic water line be terminated at the shut off valve in the street. The contractor will need to obtain a permit through Ogden City for this line kill, and include pricing in bid.
- Contractor shall be awarded all salvage rights after Ogden School District has removed items they deemed useful. Salvage rights include all building materials.

**Bid Alternate #1**

- Complete building demolition and removal of all debris including footings and foundation, concrete and asphalt identified in this document.
- Backfill with structural fill to match existing grade. Crushed concrete may not be used as backfill material.
- Cap all utilities inside the property line. Ogden City Water requires the domestic water line be terminated at the shut off valve in the street. The contractor will need to obtain a permit through Ogden City for this line kill, and include pricing in bid.
- Contractor shall be awarded all salvage rights after Ogden School District has removed items they deemed useful. Salvage rights include all building materials.
- **Complete demolition of site concrete and asphalt shown on the site map provided in this packet labeled Bid Alternate #1**

## Bid Alternate #2

- Complete building demolition and removal of all debris including footings and foundation, concrete and asphalt identified in this document.
- Backfill with structural fill **to 6" below grade**. Crushed concrete may not be used as backfill material.
- Cap all utilities inside the property line. Ogden City Water requires the domestic water line be terminated at the shut off valve in the street. The contractor will need to obtain a permit through Ogden City for this line kill, and include pricing in bid.
- Contractor shall be awarded all salvage rights after Ogden School District has removed items they deemed useful. Salvage rights include all building materials.
- Complete demolition of site concrete and asphalt shown on the site map provided in this packet.
- **Demolition Contractor would need to hire a Landscape Contractor for a Design Build, to Provide and install a sprinkler system with time clocks, 6" of top soil, and new sod in the area shown on the site map provided in this packet labeled Bid Alternate #2**
- **Ogden School District preferred sprinkler product is Rain Bird for valves and sprinkler heads. The preferred time clock is Smart Rain.**
- **If Bid Alternate#2 is accepted the landscape portion of the project deadline would change from December 2<sup>nd</sup> to June 2023**

## Bids

- Before submitting a bid, each bidder will carefully examine the drawings, specifications and other contract documents. Bidders will also be fully informed as to all existing conditions and limitations, and shall include in the bid the cost of all items associated with this project. When filling out the Bid Form provided in this packet include all three prices. **Please include the Base Bid project. Base Bid project with bid alternate #1, and Base bid project, with Bid Alternate #2. Bidders are required to use the bid form provided in this packet.**

## Interpretation of Drawings and Specifications

- If any person submitting a bid for the proposed contract is in doubt as to the true meaning of any part of the drawings, specifications or other proposed contract documents, **he or she may submit a written request on Sciquest (UP3) for an interpretation. Any interpretation of the proposed documents will be made only by addendum issued on Sciquest.**

**Permits and Inspections**

- The contractor is to obtain and pay for all permits, fees that may be necessary for fully completing the work specified. Compaction testing will be paid for by the owner.

**Safety Fencing**

- Contractor is required to provide and install temporary chain link fencing around the entire demolition site. The fencing is to remain until the completion of work being performed.

**Dust/Air Quality Control**

- Contractor is required to follow EPA, DAQ, OSHA and Ogden City requirements in controlling any dust/debris during demolition.

**Building Asbestos**

- All regulated Asbestos will be removed by Owner.

**Storm Water Drainage**

- Contractor is to protect all storm drain boxes in grass areas or hard surfaces (concrete, or asphalt) from any damage, and debris entering the boxes. Storm drain location will be shown on the site plan.

**Sprinklers/Irrigation/Grounds**

- Contractor is responsible to repair/replace any damage to the irrigation system during demolition. Contractor is responsible to maintain or repair site from damage that is not included in demolition, Grass, Concrete, Asphalt, Trees etc.

**Site Utilities**

- Contractor is responsible to cap sewer inside property line. Contractor is to follow the direction of Ogden City to terminate the domestic water line. Owner will have the Power and Gas shut off to the site.

**Drug, Tobacco & Vaping, Alcohol**

- The Ogden School District prohibits the use of any Tobacco, Vaping products, Drugs, or Alcohol on any OSD property. Contractor to ensure any sub-contractors and employees are aware while working on this project.



**Facility Assessment Summary**

Date of Original Survey:

Date of Update:

**CH Taylor Elementary**

2130 Taylor Avenue

801-625-8831

**Building Information**

Project	Year	Square Feet
Orig. Building	1950	27,703 s.f.
Additions:	1955	5,578 s.f.
	1965	6,468 s.f.
	1991	3,918 s.f.
<b>Total Gross S.F.</b>		45,666 s.f.

Number of Floors	1
Grades Housed	k-5
Student Capacity	475
Student Enrollment	388
Number of Teaching Stations	19

**Site Information**

	Acres
Landscaped	2.72
Asphalt	0.73
Playground	0.52
Parking	0.53
# of Parking Stalls	52
<b>Total Site Acreage</b>	4.5

**Type of construction**

- X Load Bearing Masonry  
Steel Frame  
Wood  
Combination  
Other

**Air Conditioning System**

- Central  
X Room Units - @ Media Center  
Rooftop  
Window Units  
Other/Combo

**Heating System**

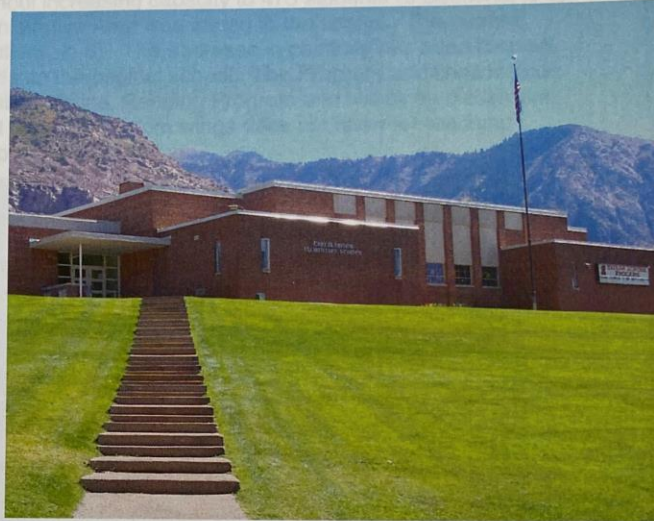
- X Central  
Room Units  
Rooftop  
Forced Air  
Steam  
Hot Water  
Other/Combo

**Exterior Material**

- X Masonry  
Wood  
Metal  
X Other/Combo - Conc.

**Facility Condition Summary**

Facility Condition Score:	4.0
Total Deficiencies (Cost to Update):	\$ 7,435,694
Replacement Cost (New Facility):	\$ 6,135,704

**Key Cost Information Breakdown:**

(Costs included in Total Deficiencies Cost Above)

Seismic Renovation Cost	\$	610,650
Structural Non-Seismic Upgrade Cost	\$	13,744
Asbestos Abatement Cost	\$	78,500
Mechanical Systems Upgrade Cost	\$	870,460
Electrical Systems Upgrade Cost	\$	538,197
Architectural Upgrade Cost	\$	2,606,100
Architectural Additions Cost	\$	473,951
Gym Addition Cost	\$	278,338
Pre-school Addition Cost	\$	344,249
Site Cost	\$	222,960
<b>Sub-Total</b>	<b>\$</b>	<b>6,037,149</b>
Contractor Fees	\$	1,026,315
A & E Fees & Testing	\$	372,229
<b>Total</b>	<b>\$</b>	<b>7,435,694</b>

**Utility Costs**

Cost/SF	Cost/SF	Year Used for Cost:
\$ -	\$ -	200x

**Portable Information**

Number	Year Built	Square Feet
-	-	-

## C.H. Taylor Elementary Structural Summary

### STRUCTURAL EXECUTIVE SUMMARY

#### Building Data:

<b>ASCE 31 Building Type:</b>	URM (Unreinforced Masonry)	<b>Year Constructed:</b>	1950
<b>Site Visit Date:</b>	July 16, 2002	<b>Year(s) of Additions:</b>	1955, 1991

The objective of this study is to determine if the existing School Building meets the ASCE 31 (formerly FEMA 310) demand and acceptance criteria for seismic loads. It was also noted during the site investigation if obvious signs of stress due to gravity loads were observed. As directed by the school district no destructive measures were taken to verify structural conditions. The investigation along with the analysis constitutes a limited Tier 1 investigation as defined in ASCE 31. Initial upgrade measures and estimated costs were then developed for any deficiencies. Earthquake probabilities and associated force levels are discussed more fully in the Structural Evaluation Report in the Appendix.

This building is an unreinforced masonry building and is adequate to resist the required gravity loads. The roof is wood frame and the trusses and joists are not connected adequately to the masonry walls. The roof deck is also not adequately connected to the shear walls and new connections are needed.



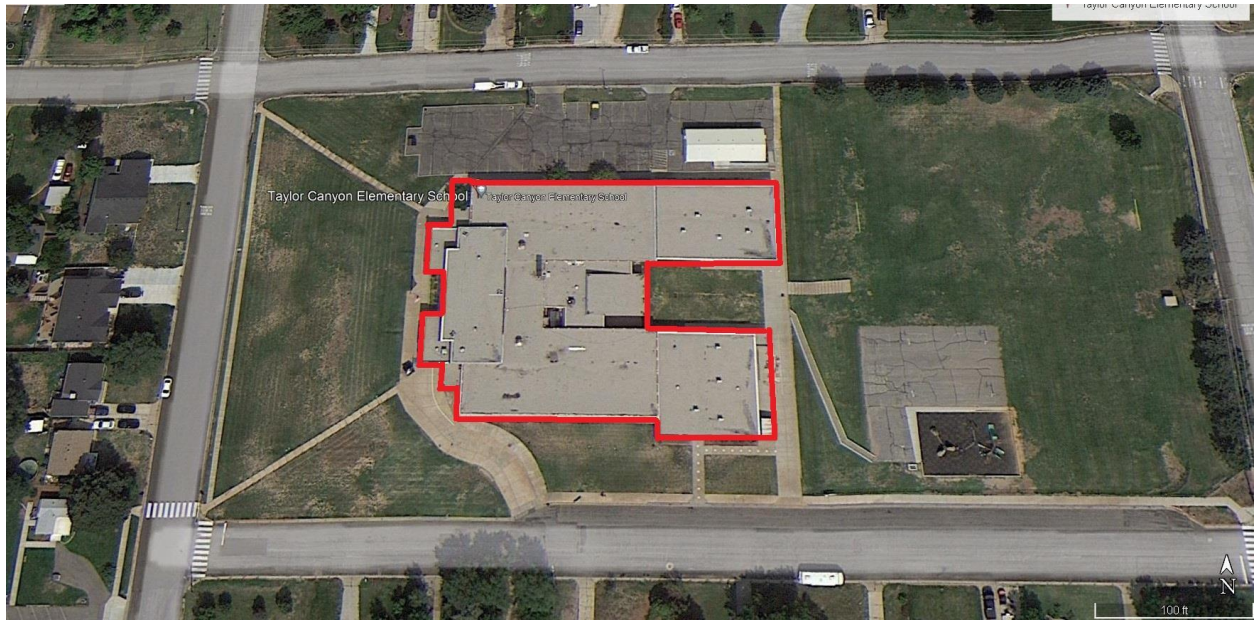
Photo 1 - Exterior walls with windows.



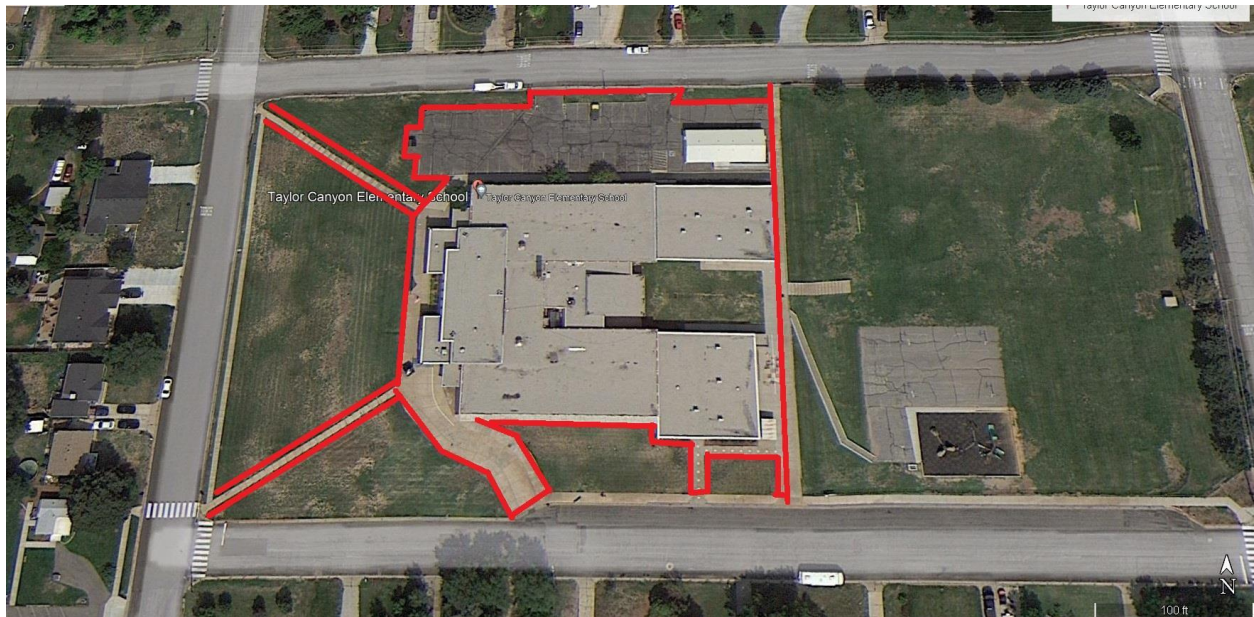
Photo 2 - Crack in foundation wall on west side.

The exterior and interior walls are not adequate to resist the required seismic loads and need to be upgraded. New interior reinforced masonry shear walls with new concrete footings are needed. Some of the exterior walls need to be either replaced with new reinforced masonry piers or upgraded to be reinforced masonry walls by adding reinforcing and grout. The walls on the west side of the building are settling and many cracks have formed in the walls. These cracks should be repaired.

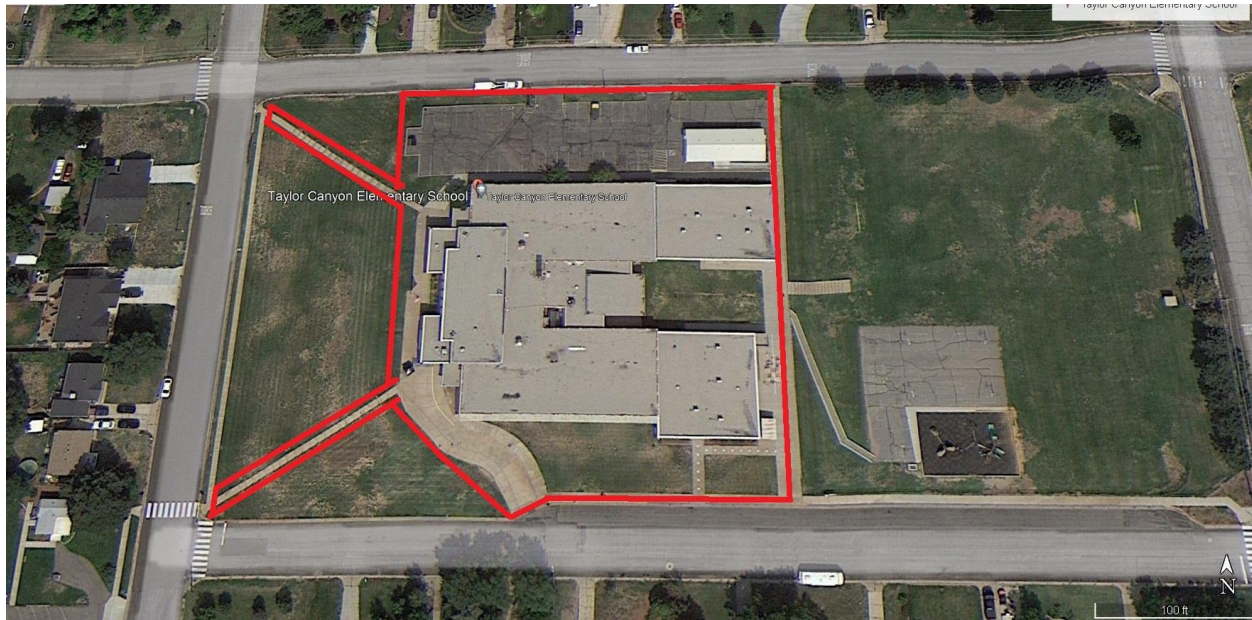




**TAYLOR CANYON DEMOLITION SITE IMAGE**  
**ONLY THE AREAS OUTLINED IN RED WOULD APPLY.**

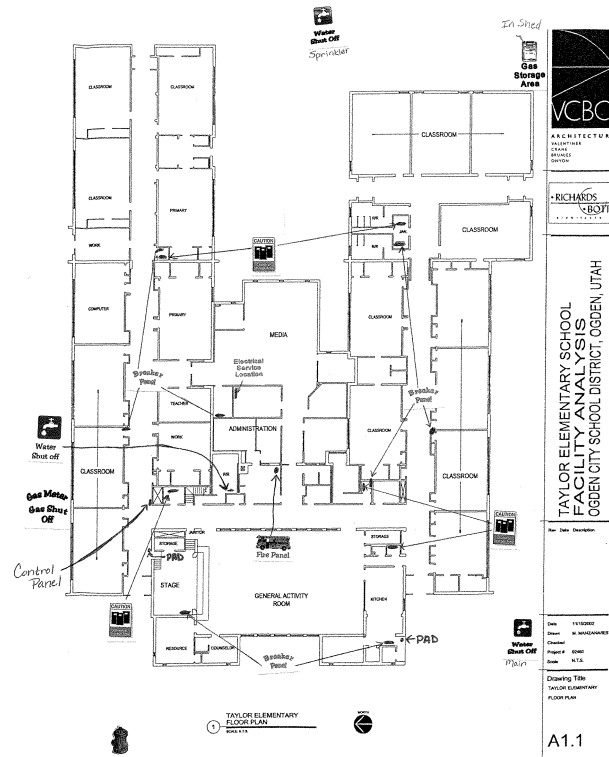


**TAYLOR CANYON BID ALTERNATE #1 SITE IMAGE**  
**ONLY THE AREA OUTLINED IN RED WOULD APPLY**



**TAYLOR CANYON BID ALTERNATE #2 SITE IMAGE**

**ONLY THE AREAS OUTLINED IN RED WOULD APPLY**







**MEDIA CENTER ADDITION**  
**TAYLOR ELEMENTARY SCHOOL**  
2146 TAYLOR AVE. SODEN, UTAH | ORDER CITY SCHOOL DISTRICT



